



# Carlingford

DESIGN STANDARDS







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# 1

## Vision

### Carlingford

Carlingford is the first major residential development of its kind in Lalor for over a decade. Here you can live the lifestyle you always wanted in the home of your dreams without having to move away from family and friends.

Everything you're familiar with will be close by: schools, a train station, shops and all your favourite recreational, leisure and sporting facilities, plus you'll have easy access to the Hume Highway and Western Ring Road.

Carlingford has been designed to provide for community living among tree lined streets, a network of cycle paths and walkways, over 9 hectares of open space which includes precious conservation areas, and landscaped reserves all just 18km north of Melbourne's CBD.\* This will be a development where the quality is evident the moment you enter.

It will also be a place where the environment is carefully considered, with water sensitive urban designs and purchasers are encouraged to adopt water and energy saving features in all new homes.

Carlingford will accommodate approximately 600 new housing lots offering a choice of lifestyle options, from low maintenance terrace and townhouse lots to larger sized family lots. Choose the lot that suits your lifestyle and then choose your builder.

Cedar Woods has maintained links with the local history of the area through the continued use of the name "Carlingford" which was the name given to the original farm on the site. The location is set within the suburb of Lalor which takes its name from Peter Lalor, leader of the miners who fought at the Eureka Stockade



\* Carlingford is 18km's north of Melbourne CBD traveling in a straight line

Note: aerial photo - looking south



## Carlingford

rebellion in 1854. Originally from Tinakill in County Laois, Ireland, Peter Lalor was the son of a member of the British House of Commons and went on to become Speaker of the Legislative Assembly of Victoria.

There won't be any surprises at Carlingford. Comprehensive design standards will seek to ensure that every home in your street is complementary to neighbouring homes and like all Cedar Woods' developments, Carlingford will be delivered to a premium standard that is renowned in the marketplace.





Carlingford will showcase excellent urban design outcomes and contemporary Australian architectural style. The design team studied the best examples of masterplanned communities around the world and brings aspects of these projects together for Carlingford.

Meticulously master planned to create an appealing place to live, Carlingford will feature attractive vistas created through the careful positioning of parks and streets with particular attention to detail paid to the prominent lots.

The mixture of contemporary facades and landscaping will create a suburb of visually interesting, innovative and stylish streetscapes.

These Design Standards will help ensure Carlingford is a premium development for Melbourne.





## Purpose of these Design Standards

### Purpose of these Design Standards

These Design Standards are in place to encourage the best possible housing design outcomes throughout this new community.

Carlingford is set to be a showcase for contemporary Australian architectural housing. The Design Standards set out the standards to which each house design must comply in order to achieve this outcome.

The Design Standards allow flexibility and are easy to apply. Purchasers should understand these standards and select the best builders to assist them in delivering their home.

The Design Standards aim to assist in our goal of creating a premium new housing development and will help protect the substantial investment that you will make in your home.





# 2

## Design Approval

### Design Approval Process

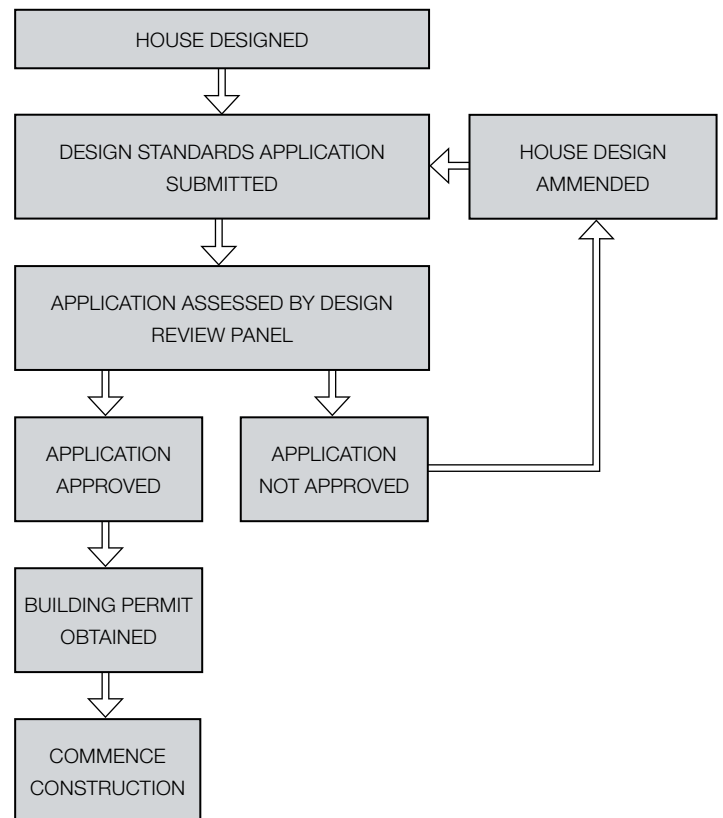
The design approval process helps ensure your investment in your home is better protected.

In order to ensure the highest standards of housing and streetscapes, all proposed house designs will be subject to review and approval by the Cedar Woods Design Review Panel.

The design approval process is outlined below and stipulated in greater detail in the contract of sale.

#### Design Standards Approval Process

- Step 1** Decide upon your builder, house type and facade.
- Step 2** Use the check list accompanying this booklet to ensure your chosen facade and home meets the standards required for approval. If in doubt, seek early clarification from the Design Review Panel.
- Step 3** Forward your completed application comprising Design Standards Application form, checklist and other required documentation (see section 'Application Requirements') to the Design Review Panel.
- Step 4** The Design Review Panel will review your application to ensure your home complies with the Design Standards. If your design complies with the Design Standards, your plan will be approved and returned to you. Compliant applications will usually be processed within 14 days of receipt by the Design Review Panel. If your design requires changes in order to comply with the Design Standards, the Design Review Panel will provide written advice detailing the areas of non-compliance and return the application to you for amendment and resubmission. Depending upon the number of resubmissions required, you may incur additional charges relating to these. Your builder or a member of the Design Review Panel may be able to suggest ways to ensure compliance.







## Design Review Panel

The purpose of the Cedar Woods' Design Review Panel is to ensure that all homes comply with the Carlingford Design Standards.

The Design Review Panel is comprised of members of the Carlingford development team, and specialist consultants - as required, including town architects and urban designers.

Should you require an explanation or clarification of terms and standards within this document, contact the team on 0498 000 175 or email [drp@cedarwoods.com.au](mailto:drp@cedarwoods.com.au)

### Notes on the Design Approval Process:

Carlingford design approval does not constitute a building permit nor replace the need for a building permit.

A building permit must be obtained from City of Whittlesea or a private building surveyor prior to the commencement of construction.

Applications must contain all the required information as identified in the section 'Application Requirements'. The Design Review Panel will not accept incomplete applications. Design Approval will only be granted to the application as a whole, when all the application requirements have been assessed as fully compliant with the Carlingford Design Standards. Approval will not be granted to part of an application.

Design Approval is granted only to those works that are detailed within the plans and other documentation submitted for approval.

Any and all changes to the approved design and details will need to be submitted for approval by the Design Review Panel.

In case of a conflict between two or more standards, the Design Review Panel will assess the application on its merits and compliance in general with these standards.

The decision to approve or not approve an application is solely the decision of the Design Review Panel.



## Application Requirements

The application requirements listed below allow the Cedar Woods Design Review Panel to thoroughly assess house designs to ensure the best possible outcome for your new neighbourhood.

All applications must be sent to:

: drp@cedarwoods.com.au

### Design Standards Application Requirements:

- Completed Design Standards Application Form
- Checklist
- Site plan including:
  - Dimensions and areas of proposed building structures;
  - Setbacks to all boundaries and private open space dimensions;
  - Original and proposed finished ground levels, including changes in level;
  - Allotment boundaries, dimensions, areas and North point;
  - Driveways, parking areas, all hardstand surfaces (including paving and pools); and
  - Details of proposed retaining walls.
  - Extent of fencing for corner lots.
- Floor plans, roof plan and elevations including:
  - Internal layout including rooms, balconies, verandahs, decks, windows, openings and dimensions;
  - Position of water tanks, TV antennas, air-conditioning units, evaporative cooling units, solar water heaters, solar panels, pool heaters, outbuildings and sheds.
  - Roof form.
  - All elevations fully dimensioned.
- Materials and Colour Schedule including:
  - Building materials proposed to be used for external walls, roofing, pathways, driveways, fencing, retaining walls; and
  - Colour schedule for external walls, roofing, pathways and driveways.
- Written statement of the sustainability initiatives/features that have been incorporated into the design and construction of the home. Include a description of sustainability features as per Design Standard 4.02 (page 24).



# Design Standards Application Form

## Allotment Details

Lot number ..... Street.....

## Owner Details

Name .....

Mailing address .....

Phone BH ..... Mobile .....

Email .....

## Builder Details

Name .....

Company .....

Mailing address .....

Phone BH ..... Mobile .....

Email .....

## Design Details

House type .....

Façade type .....

Has the house been modified in any way from the standard builders plan for this house type and facade?

Yes     No     Unsure

## Attachments

- Checklist
- Site plan
- Full set of building plans including floor plan, roof plan and elevations
- Materials and Colour Schedule
- Written statement of sustainability initiatives/features that have been incorporated into the design and construction of the home.

I/We certify that the information in the attached application is a true and accurate representation of the home I/We intend to construct. In the event that changes are made to the proposed plans, I/we undertake to resubmit this application for approval of such changes and agree to incur any additional fees which may result from this process.

Signed ..... Date .....



## Design Standards Checklist

Standard		Yes	No	Unsure*
3.01	Your home has an entry element such as a portico, verandah or porch.			
3.01	The front door faces the street.			
3.02	The garage does not dominate your facade.			
3.03	The portico has a minimum area of 4m <sup>2</sup> in total and is at least 1.5m deep.			
3.04	The verandah has a minimum area of 4m <sup>2</sup> in total and is at least 1.5m deep.			
3.05	The porch has a minimum area of 5m <sup>2</sup> in total.			
3.06	Your home is contemporary in character and is not a period reproduction.			
3.07	Your home does not contain external period elements.			
3.08	Facades must not be identical or indistinguishable within three housing lots.			
3.09	The windows, doors and sidelights do not contain any leadlight or stained glass.			
3.10	The windows to the facade and any elevation visible from the street are not aluminium sliding windows frames.			
3.11	The facade will be constructed using a variety of external building materials.			
3.12	The facade has a minimum of 20% render or material other than brick.			
3.13	The materials and finish used on the façade will return 800mm on the side elevations.			
3.14	External plumbing, reticulated and wired services are not visible from the street or public realm.			
3.15	The meter box is not located on the front facade			
3.16	There are no infill panels above any doors, garage doors or windows on an elevation visible from the street.			
3.17	The roof is simple, uncomplicated and does not dominate the facade.			
3.19	The eaves are a minimum of 450mm deep.			
3.20	The roof covering material conforms with the approved materials listed in the Design Standards			
3.21	There is provision for two car parking spaces, of which one is under cover.			
3.22	The garage/carport is set back a minimum of 840mm from the building line.			
3.23	The width of your double garage is 6m externally or less.			
3.25	The garage door is a sectional overhead door.			
3.26	The carport is single car width.			
3.27	The carport complements the main dwelling.			
3.28	The carport is fixed to the side of the home and abuts the side fence.			
3.29	The carport is fitted with a sectional overhead garage door.			
3.30	The external colour scheme is reflective of contemporary Australian architectural style and complements the examples shown in 3.30 and Appendix 1.			

\*Unsure or not applicable to my application



Standard		Yes	No	Unsure*
4.01	Principles of environmentally sustainable design have been incorporated into the design of the home.			
4.02	An additional genuine water or energy saving measure has been provided, over and above that required for five star certification under current regulations.			
4.03	Methods for reducing energy and water consumption have been incorporated into the design of the home.			
5.01	The indoor and outdoor living areas face north, when practical and possible.			
5.02	Your home conforms to the minimum floor area requirements.			
5.03	The dwelling is set back a minimum of 4.5m and maximum of 6.5m from the front property boundary, and allowable elements do not encroach more than 1.5m into the set back.			
5.04	The garage is set back a minimum of 5.5m from the front boundary.			
5.05	At least one side is setback a minimum of 1m from the boundary.			
6.01	If the home is on a corner lot, treatments to the primary street frontage are repeated on the secondary street frontage forward of the fence line.			
6.02	For corner lots, features of the primary street frontage are replicated on the secondary street frontage forward of the fence line.			
6.03	For corner lots, the secondary facade complies with standards 3.07, 3.09-3.12, 3.14-3.16.			
6.04	For corner lots, the secondary facade is setback a minimum of 2.0m from the secondary property boundary.			
6.05	For corner lots, fencing of the secondary facade begins no closer than 10m from the front boundary.			
6.06	The facade and entrance of the home face the primary frontage.			
7.01	There is a maximum of one crossover and driveway per lot.			
7.02	The driveway is constructed of approved materials and is complementary to the colour schemes in Appendix 1.			
7.03	The driveway will be completed within 30 days of the issue of the Occupancy Permit.			
7.04	There is a planting strip between the boundary and driveway.			
7.05	A 90mm PCV pipe or similar pipe should be installed beneath the driveway, 1m from the front boundary.			
8.01 & 8.04	The fencing will conform to the requirements as per the Design Standards. (Tick 'Yes' if fencing provided by the developer)			
8.02 & 8.03	The side wing fencing will conform to the requirements as per the standards.			
8.05	The items listed in this standard are/will be positioned so they are not visible from the street, or are screened appropriately.			
8.06	Solar hot water tanks are not visible from the street.			

\*Unsure or not applicable to my application



## Landscaping Checklist

Standard		Yes	No	Unsure*
9.01	Landscaping will be completed within 6 months of the issue of the Occupancy Permit.			
9.02	The front garden 'frames' the house and creates a 'space' within the front yard area.			
9.02	Plants have been layered to create an open face to the street.			
9.02	The use of accent and highlight plants has been limited.			
9.02	The garden reflects a contemporary character.			
9.03	At least one semi mature tree has been included in the design.			
9.03	At least 10 medium to large shrubs have been included in the design.			
9.03	At least 20 smaller shrubs have been included in the design.			
9.03	At least 20-25 ground cover plants from 150mm pot size at installation have been included in the design.			
9.04	All plants are hardy, drought tolerant, appropriate for basaltic clay and are not environmental weeds.			
9.05	If used, lawn is drought tolerant, warm season grass.			
9.06	If used, lawn substitute is hardy, drought tolerant and has minimal maintenance requirements.			
9.07	Planted garden areas and garden beds are defined and separated from lawn or gravel areas with timber or paved edging.			
9.09	The letter box will be constructed, positioned and installed as per the standard.			

\*Unsure or not applicable to my application



## Architectural Character

The appearance of the facade of a house is of critical importance in terms of contribution to the streetscape. Whether positively or negatively, the facade of your home has an impact on your neighbours and the environment. Care must be taken, especially in the design phase, to ensure your home contributes positively to the streetscape and is in harmony with Carlingford's contemporary Australian architectural style.

### Objective:

- To ensure that all houses are of contemporary Australian architectural style and that the detail on the facades contributes positively to the streetscape.
- To minimise repetitious facades along the streetscape.

## Design Standards

### 3.01

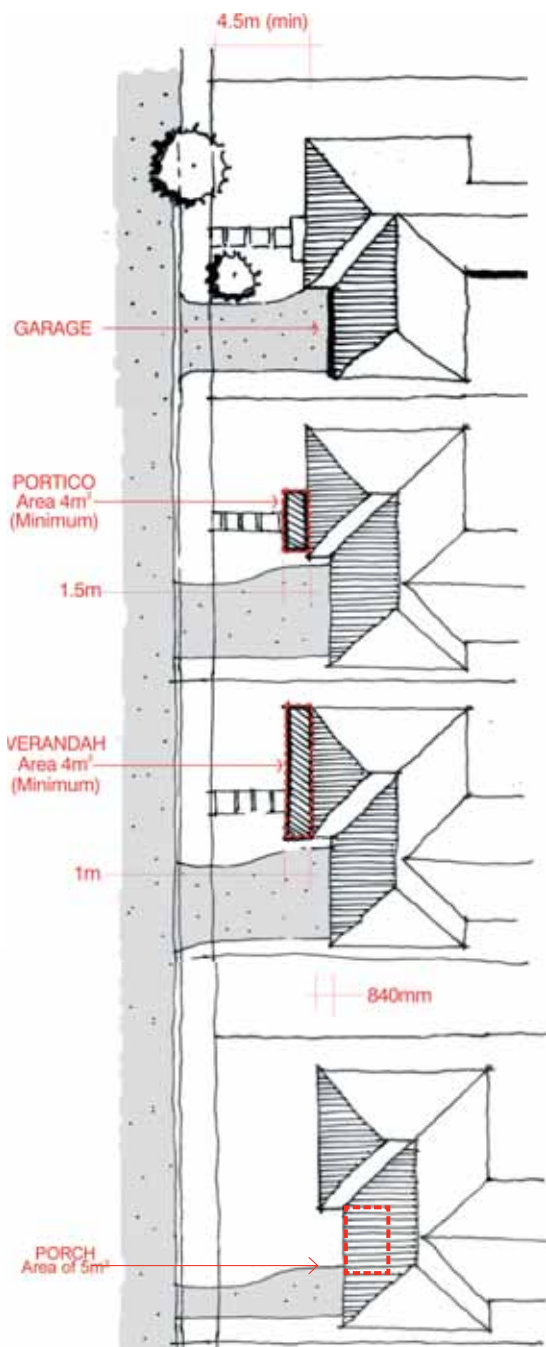
Your home must incorporate an entry element such as a portico, porch or verandah. The entry element must clearly frame the entry and the front entry must face the primary frontage.





## Architectural Character

### Design Standards



#### 3.02

Your garage must not dominate the street front or facade of the house and must be a secondary element to the facade and building mass.

#### 3.03

Porticos must be appropriately scaled in relation to the size of the dwelling, and must have a minimum area of 4m<sup>2</sup> and a minimum depth of 1.5m

#### 3.04

Verandahs must be of a contemporary nature that complement the style of the home and must have a minimum area of 4m<sup>2</sup> and a minimum depth of 1m.

#### 3.05

Porches must have a minimum area of 5m<sup>2</sup> and should include a feature that clearly frames or otherwise identifies the entrance.

#### Definitions:

Verandah: an open, roofed gallery supported by posts, built along the length of the exterior of a house.

Portico: a roofed area central to the front entrance of the home, open to the air on one or more sides, typically supported on one side by the facade of a building and on the remaining sides by piers or columns.

Porch: a roofed structure attached to the front entrance of a building. It is external to the walls of the main building, and may be partially enclosed by external walls, screens or other light frame walls extending from the main structure.





## Architectural Character

### Design Standards

**3.06**

Your home must be of contemporary Australian architectural character. Period reproduction styles and mixtures of styles, for example Federation, Edwardian, Colonial, Victorian, Georgian, Neo-Classical etc are not considered to be of contemporary Australian architectural character, and therefore are not permitted.



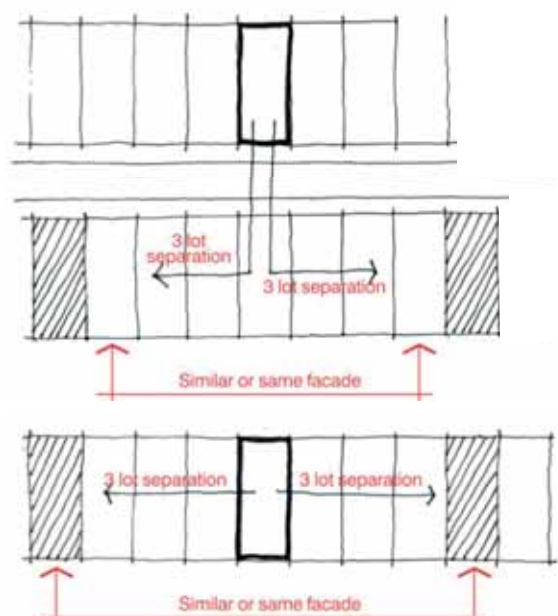
**3.07**

Your home must not contain external period decorative elements. For example, finials, fretwork, wrought iron, ornate timber works, turned posts, decorative wooden lacework, corbelling and quoins are not considered appropriate to contemporary Australian architectural character and will not be approved.



**3.08**

With the exception of designated integrated housing developments, facades must not be identical or indistinguishable within three house lots, along both sides of the street. In the event that two applications request the same or similar facades, facade approval will be granted to the first application received.





## Building Materials

The appearance of a home, through careful design and material selection, can have many beneficial outcomes such as good capital growth and contributing to neighbourhood character. These outcomes can be achieved by careful and skilled use of external building materials that harmoniously fit within the character of the streetscape and neighbourhood.

### Objective:

To ensure that an appropriate selection of external materials are used in the facade, ensuring individuality and variety in the streetscape.

### Design Standards



**3.09** External windows and doors must not contain leadlight or stained glass features.

**3.10** Aluminium sliding windows and doors must not be used on the front facade or any elevation visible from the street.

### Weatherboard / Lightweight Cladding



**3.11** Your facade must be constructed using a mixture of external building materials.

Some suggestions are:

- Render
- Boutique bricks
- Stacked stone
- Sandstone or masonry blocks
- Painted weatherboard
- Lightweight cladding
- Timber cladding

Note: Plain face brick to the entire facade is not permitted.

### Bricks



### Sandstone or Masonry Blockwork / Render



### Timber Cladding



### Stone





## Building Materials

Below are examples of homes that meet the design standard for incorporating a variety of external building materials.





## Building Materials

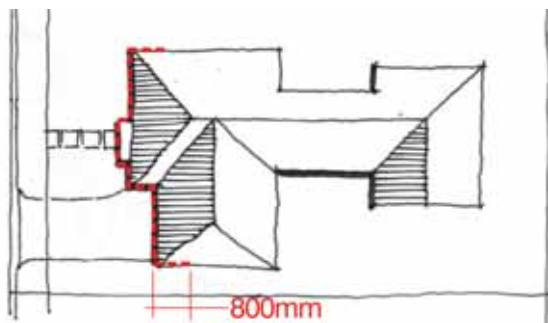


### Design Standards

**3.12**

The design of your home must include a minimum 20% of render or material other than brick on the facade (calculated from elevation area minus windows, doors and garage doors).

The Cedar Woods Design Review Panel strongly encourages minimal use of face brick.



**3.13**

The materials and finish used for the front facade must return by a minimum of 800mm on the side elevations. The change of material should be located where downpipes or other accepted treatments cover the joint.

**3.14**

External plumbing (excluding drainage downpipes), reticulated or wired services must not be visible from the street.

**3.15**

Meter boxes must not be located on the front facade.



**3.16**

On all elevations visible from the street, infill panels above doors, garage doors and windows must be constructed from the same material as the bulk of the surrounding external cladding. Cement sheeting and timber infill panels are not permitted. Timber lintels over garage doors are not permitted unless clearly in keeping with the architectural character of the home as a whole.



## Roof Design

In keeping with the style of housing in Carlingford, roof design should be of a scale, form and material that is representative of contemporary Australian architecture.

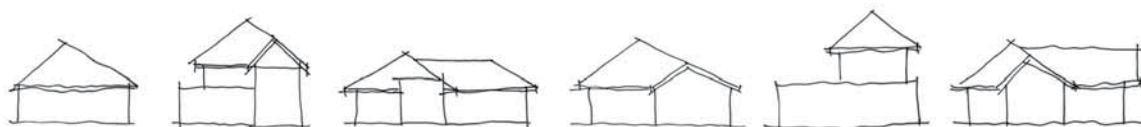
### Objective:

To ensure that all roof forms are of contemporary design and do not dominate streetscapes.

### Design Standards

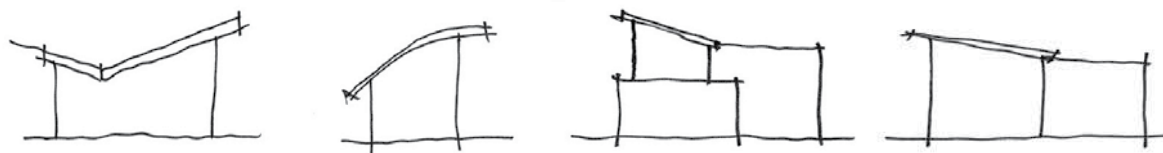
**3.17**

Roof design must be of simple form that does not dominate the facade. Roof design may incorporate articulated roof heights.



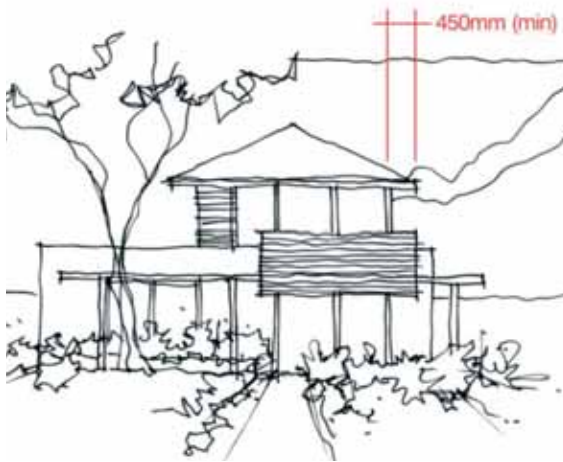
**3.18**

Flat pitched, skillion and curved roofs are considered contemporary and are strongly encouraged.





## Roof Design



### Design Standards

**3.19**

When appropriate for the architectural character of the individual home, eaves are strongly encouraged.

Where eaves are included in the house design, they must be a minimum of 450mm in depth.



**3.20**

To achieve a contemporary Australian architectural style, roofing must be of one of the following materials:

- Matt finished powder coated metal roofing or similar; or
- Matt finished shingle style terracotta or concrete tiles, or
- Matt finished low profile or slimline terracotta or concrete tiles

Low profile tiled roof



Powder coated metal roof





## Garages and Carports

Garages and Carports are essential elements in contemporary Australian homes.

When garages and carports are sited in front of the bulk of the facade they dominate the streetscape, which is unappealing. Garages and carports are to be secondary elements to the main facade and building mass.

### Objective:

To ensure the location and treatment of garages and carports can contribute positively to the streetscape.

### Standards

**3.21** Each home must include provision for two car parking spaces, of which one must be undercover in either a garage or carport.

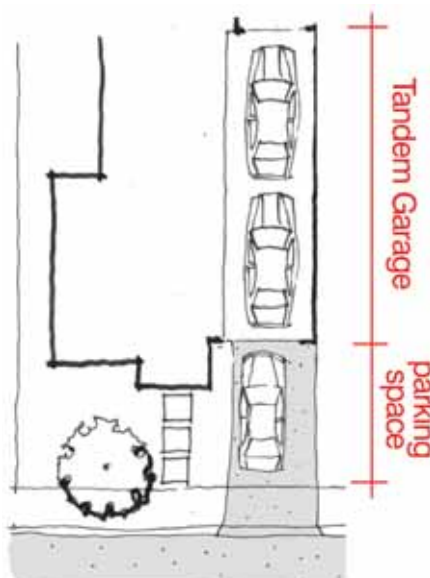
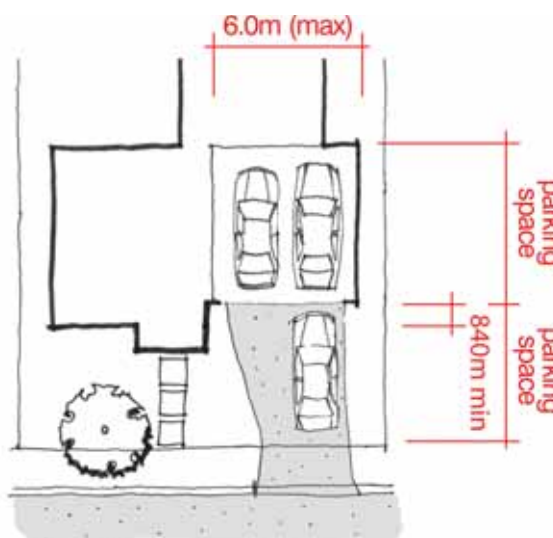
**3.22** Garages and carports must be stepped back a minimum of 840mm from the building line.

**3.23** The width of single garages must not exceed 55% of the width of the facade. The external width of garages must not exceed 6 metres.

**3.24** Tandem garages are permitted.

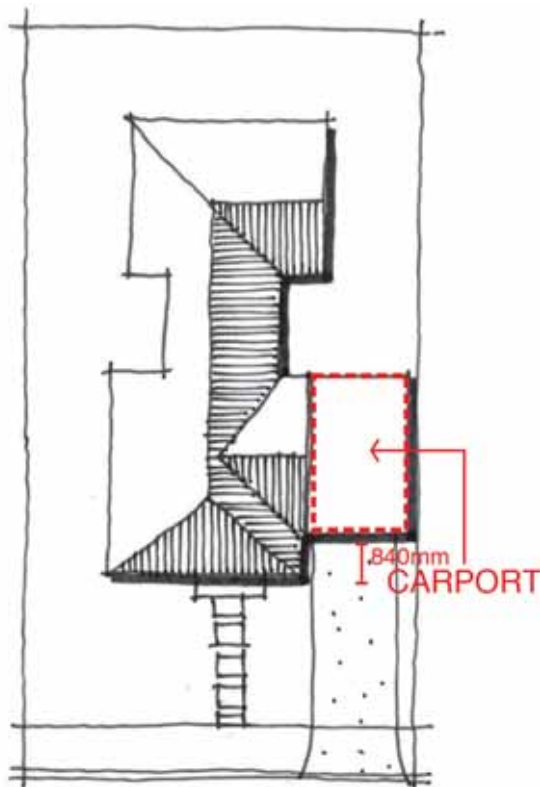
**3.25** All garage doors to the front facade or any elevation that faces the street must be a sectional overhead door that is complementary to the external colour scheme. Roller doors must not be used where visible from the street.

Note: Cedar Woods Design Review Panel may consider and approve other garage door styles if this element is in keeping with the contemporary character of Carlingford.





## Garages and Carports



### Design Standards

**3.26** Carports must be single car width only and used only with either no garage or a single car garage.

**3.27** Carports must complement the character of the main dwelling.

**3.28** Carports must be fixed to the side of the home and abut the side fence.

**3.29** Carports must be fitted with garage doors that comply with standard 3.25.





## Colour Schemes

Carlingford will have a colour scheme that is reflective of contemporary Australian architectural style. Your external colour scheme must be submitted for approval by the Cedar Woods Design Review Panel.

### Objective:

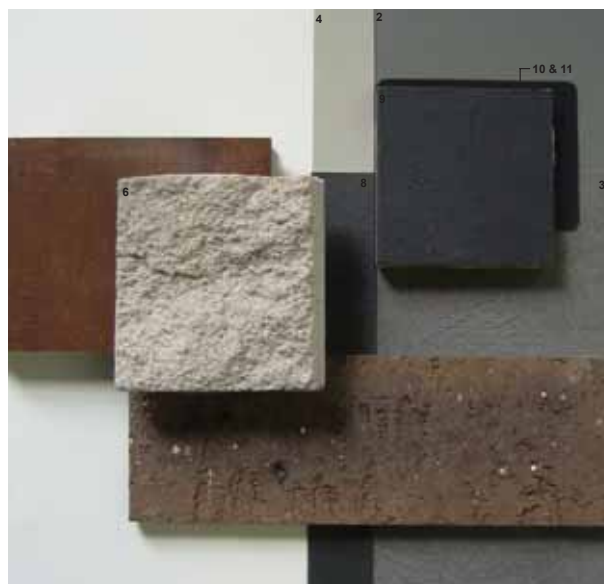
To ensure there is a visual balance and coherence of the streetscape as a whole.

### Design Standards

**3.30** The external colour scheme must complement the following examples.



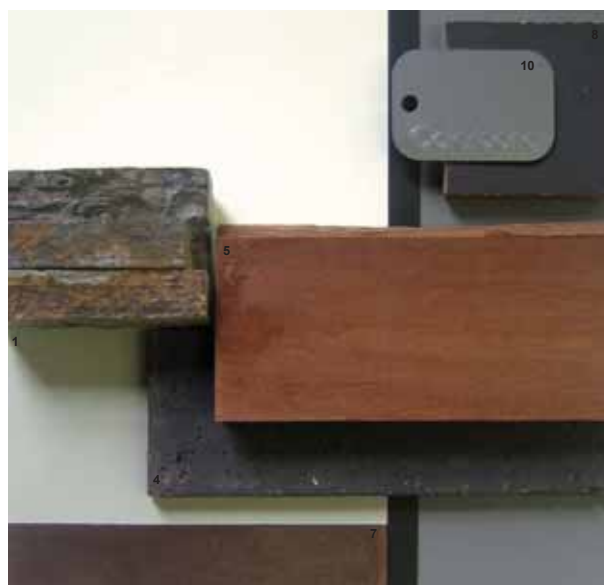
Scheme 1



Scheme 2



Scheme 3



Scheme 4



## Streetscape Examples



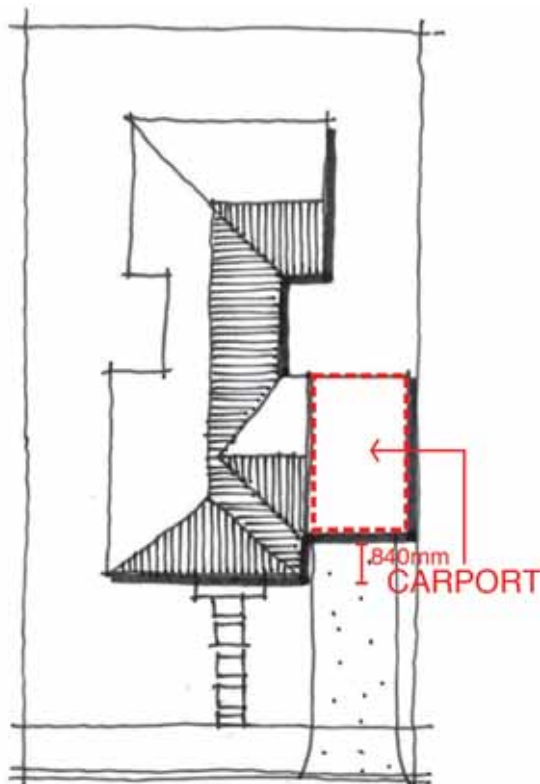


## Streetscape Examples





## Garages and Carports



### Design Standards

**3.26** Carports must be single car width only and used only with either no garage or a single car garage.

**3.27** Carports must complement the character of the main dwelling.

**3.28** Carports must be fixed to the side of the home and abut the side fence.

**3.29** Carports must be fitted with garage doors that comply with standard 3.25.



## Maximising Water and Energy Efficiency

Saving water and energy is now a major priority in Australian cities. Careful consideration should be given to methods of gaining greater water and energy efficiencies.

Some water and energy saving methods can mean an increased up front cost, but these efficiencies can minimise our use of potable water, reduce our use of non-renewable energy and have the potential to save thousands of dollars in the long term while enhancing our quality of life.

### Objective:

To ensure that all new houses conserve water and that buildings are designed to maximise cross ventilation and access to sunlight, and to reduce energy consumption from heating and cooling.

### Design Standards

#### 4.03

Purchasers are strongly encouraged to incorporate the following methods for reducing energy and water consumption for inclusion into their home:

#### Water

Reduce water demand in taps, toilets and showers.

- Install 3 star WELS rated shower heads
- Install 4 star WELS rated dual flush toilet
- Install 4 star WELS rated dishwashers and washing machines
- Install 4 star WELS rated tapware or 5 star WELS rated flow restrictors to taps
- Install mixer taps in showers
- Install separate hot and cold taps over basins and sinks
- Install a 5,000L or 10,000L rainwater tank connected to the entire roof area.
- Install a grey water diversion system
- Fit timers to external taps
- Install hot water pipe recirculation



#### Energy Use

Reduce energy use, especially associated with heating and cooling.

- Incorporate a sealed entry foyer
- Avoid air conditioning
- Install ceiling fans where ceiling heights allow for their installation
- Install a photovoltaic or other renewable energy system
- Install thermally improved window frames
- Install window coverings that will insulate and prevent heat loss in winter and heat gain in summer
- Use pelmets to increase window covering efficiency
- Install heat recovery ventilation systems
- Install heating and cooling systems that achieve a performance within 1 star of the maximum
- Install appliances that achieve a performance within 1 star of the maximum
- Use gas appliances for cooking
- Install energy efficient lighting





# 5

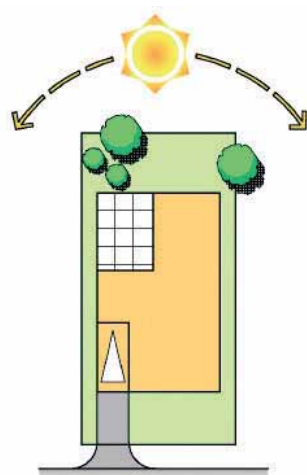
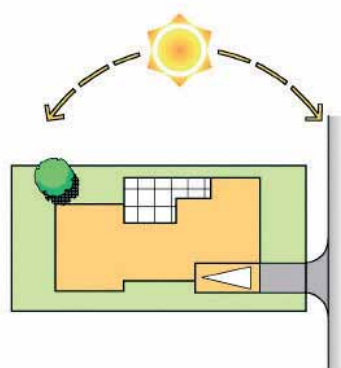
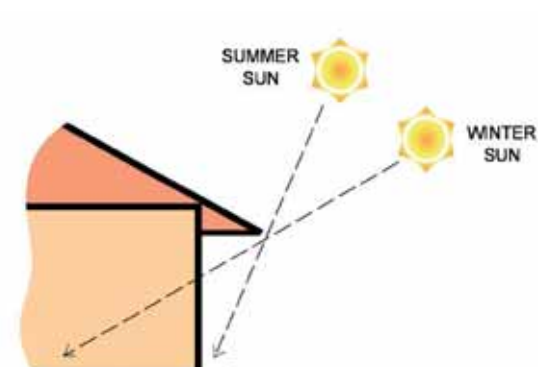
## Site Planning Principles

### Site Orientation and Coverage

The foundation of designing a home to perfectly suit your family and lifestyle is ensuring optimal siting and orientation. Paying careful attention to how your home will be positioned on the lot can provide many advantages such as maximised living area (both indoors and outdoors) exposed to the winter sun, optimal configuration for your gardens and landscaping, and the opportunity to take advantage of any vistas or views that may be present.

#### Objective:

To optimise the benefits of direct solar access such as energy saving by achieving a high level of unobstructed winter sunshine and reduced heat transference in summer.



### Design Standards

#### 5.01

Indoor and outdoor living areas should face north wherever possible and practical.

#### 5.02

The minimum floor area for each dwelling must be as follows:

- |  |                     |
|--|---------------------|
| - Lots under 400m <sup>2</sup>                       | - 80m <sup>2</sup>  |
| - Lots between 401m <sup>2</sup> - 500m <sup>2</sup> | - 125m <sup>2</sup> |
| - Lots 501m <sup>2</sup> or more                     | - 185m <sup>2</sup> |

'Minimum floor area' is defined as living areas only (It does not include the garage, portico, verandahs, porches or alfresco areas.)



## Building Setbacks

Setbacks for buildings exist to ensure that throughout the neighbourhood there is order and structure to the streetscape and to avoid issues such as overshadowing and the reflection of solar glare from adjoining homes. Adherence to setbacks contributes significantly to the visual appearance and ultimately the quality of the streetscape.

### Objective:

To enhance the opportunity to site and orient the house for the maximum amenity while minimising impacts to neighbouring dwellings.

### Design Standards

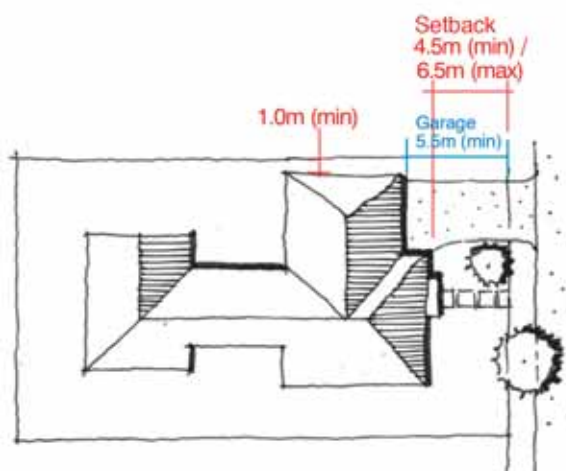
**5.03** All dwellings must be setback a minimum of 4.5m and maximum of 6.5m from the front boundary. Eaves, gutters, fascia, porticos, porches, verandahs and balconies may encroach 1.5 metres into the setback

**5.04** The garage must be setback a minimum of 5.5m from the primary property boundary.

**5.05** With the exception of designated integrated housing developments side setbacks must be a minimum of 1.0m from at least one side boundary.

Note: In the event that the setbacks in these standards are less than any designated easements, the easement width will govern the setback.

Note: Front setback dimensions are also subject to the restrictions on the plan of subdivision and building regulation requirements.





## Corner Lots

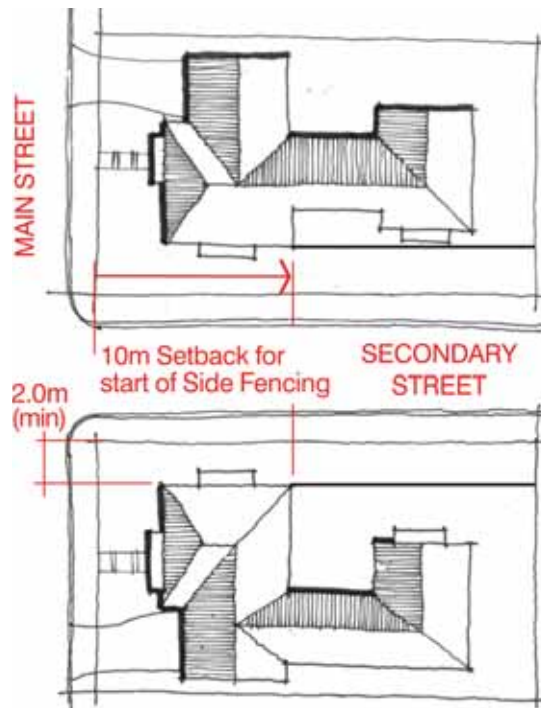
# 6

## Corner Lots

Given that corner lots address two street fronts, the appearance of the two elevations addressing the streets is an important consideration. Homes on corner lots have an important function in the appearance of the neighbourhood and as such careful design and additional Design Standards are to be employed.

### Objective:

To ensure that designs for corner lots address both street frontages.



### Design Standards

**6.01** Houses on corner lots must address both street frontages, and the materials, window treatments, embellishments and colour scheme used on the primary facade must be continued on the secondary facade, forward of the side fence line.

**6.02** Features of the primary facade such as porticos or verandahs must be replicated on the secondary facade forward of the fence line OR an appropriate corner lot feature must be included on the secondary facade forward of the fence line.

Appropriate corner lot features will be assessed on a case by case basis by the Design Review Panel.

**6.03** The secondary facade must additionally comply with standards 3.06, 3.07, 3.09 - 3.12, 3.14 - 3.16.

**6.04** Front setbacks for corner lots are as per standards 5.03 - 5.05, however the secondary facade must be setback a minimum of 2.0m from the secondary street boundary.

Eaves, gutters, elements and features of the primary facade repeated on the secondary facade may encroach up to 1.5m into the secondary boundary setback.

**6.05** Fencing of the secondary property boundary must begin no closer than 10m from the primary property boundary.

**6.06** The facade and entrance to the home must face the primary frontage.





# Driveways

The appearance of your front yard must contribute positively to the streetscape. Driveways and front yards need to be carefully planned and landscaped.

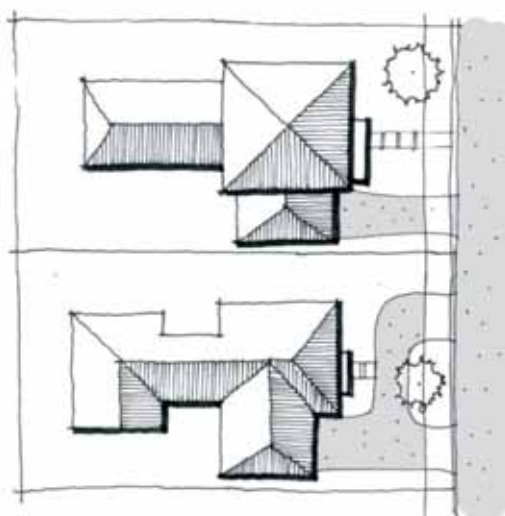
Crossovers from the road to your driveway will be determined by the developer of Carlingford and their location will be chosen to improve visual streetscape quality.

### Objective:

To ensure that driveways do not detract from the appearance of the streetscape.

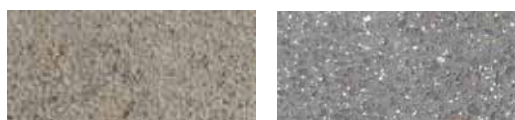
### Design Standards

**7.01** The developer will provide one crossover.



**7.02** The driveway must be constructed of:

- Exposed Aggregate
- Coloured Concrete
- Pavers



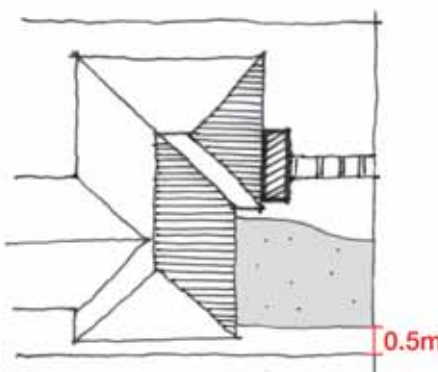
in a colour sympathetic or complementary to the colour schemes in appendix 7.



Plain concrete and stencilled or patterned concrete will not be approved.

**7.03** Driveways must be constructed within 30 days of the issue of the Occupancy Permit.

**7.04** A minimum distance of 500mm between the side boundary and the edge of the driveway is required where a planting strip is to be incorporated, except if the garage is sited on the boundary. In this case, the planting strip must be a minimum of 300mm.



**7.05** For irrigation purposes a 90mm PVC storm water pipe or similar pipe should be installed beneath the driveway 1 metre from the front property boundary. This will assist the installation of an irrigation system.



## Fencing and Screening

# 8

### Fencing and Screening

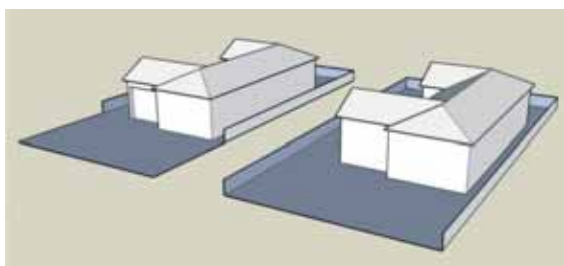
Fencing to rear and sides of house lots provides additional privacy and security, however it should not be unattractive to neighbours or visitors to these neighbourhoods. Additionally many elements of new homes though necessary, are unsightly and contribute to a cluttered streetscape. The effect can be diminished by careful screening and positioning of the items.

All lots are to be fenced in the same style and standard.

#### Objective:

To improve the visual appearance to and from the street and avoid a sense of enclosure.

#### Design Standards



#### 8.01

Fencing must be located on both side and rear boundaries but not along the front boundary. Fencing to the side boundaries must not begin forward of the facade, unless that side boundary forms the rear boundary of an adjoining lot, in which case it must be fenced along the full length.

#### 8.02

Side wing fencing must be situated no closer than 800mm back from the facade.

#### 8.03

Side wing fencing must be of the same material and specification as the side and rear fencing. Side gates must complement the architectural character of the dwelling and must not be higher than 1.95m.

#### 8.04

Side and rear fencing must be 1.95m high natural timber lapped paling fence with exposed posts on both sides and capping.

#### 8.05

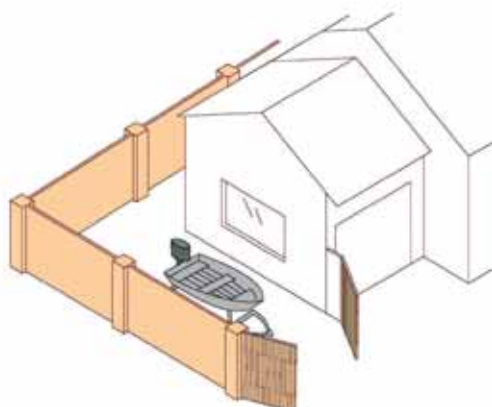
The following items must be positioned so they are not visible from the street. If this is genuinely not possible, they may be screened in a manner that complements the homes so they are not visible from the street:

- Water tanks
- Heating systems
- Satellite dishes
- Antennae
- Radio Masts
- Air Conditioning Units
- Evaporative Coolers
- External Plumbing (not including down pipes)
- Rubbish bins
- Pools
- Clothes lines

#### 8.06

Solar hot water **tanks** must not be visible from the street.

**Solar panels only** may be positioned anywhere on the roof to maximise their efficiency.





# Landscaping

A key feature of Carlingford will be the quality of the landscaped parks, gardens and streetscapes.

Given current and expected climatic conditions, appropriate front garden design and plant selection will be important in contributing to a quality streetscape.

These standards will help to ensure that front gardens contribute positively to Carlingford Estate.

## Objective:

To create a vibrant and integrated streetscape.

## Design Standards

**9.01** Landscaping to the front garden must be completed within 6 months of the issue of the Certificate of Occupancy.

**9.02** The intention for front gardens at Carlingford is that they present a green, coherent and attractive vista within the streetscape. Consequently, front garden designs must:

- frame the house and create a “space” within the front yard area;
- present an “open” face to the street by utilising layering of plant heights, with higher plants generally furthest away from the street;
- limit the use of accent or highlight plants such that these do not become the dominant theme of the garden;
- reflect a contemporary character, in keeping with the overall architectural approach outlined in these Design Standards.

**9.03** Each front garden must be planted with a minimum of:

- one semi-mature tree (of 6-8m minimum height at maturity) with a minimum height of 2m at installation;
- 10 medium to large shrubs, from 200mm pot size at installation;
- 20 smaller shrubs, from 150mm pot size at installation;
- 20 – 25 ground cover plants, from 150mm pot size at installation.



Example of a landscaping plan





## Landscaping



Dinaella revoluta



Convolvulus cneorum



Alyogyne huegelii



Westringia fruticosa



Lomandra tanika



Lavandula dentata



Anigozanthos flavidus



Callistemon Citrinus

### Design Standards

**9.04**

Plants chosen must be hardy, drought tolerant species, appropriate for basaltic clay soils, and must not be 'environmental weeds'

**9.05**

Lawn may be used, but should be minimised or preferably substituted. Where lawn is used, it must be a drought tolerant "warm season" grass such as Couch, Buffalo or Kykuyu.

Where substituted, it may be substituted with:

- ground covers;
- densely planted tussock type species;
- ornamental gravels (such as river rock or pebbles); or
- natural coloured mulches.

**9.06**

Any lawn substitute must be hardy, drought tolerant and have minimum maintenance requirements.

**9.07**

Planted garden areas or garden beds must be defined and separated from lawn areas or gravel areas with timber or paved edging.

**9.08**

An automatic irrigation system that complies with current water restrictions is encouraged in all front gardens.

**9.09**

Letterboxes must be positioned on the front boundary and purpose built to complement the style of the dwelling. Temporary letterboxes are not permitted. Letter boxes must be constructed prior to occupation.



## Outbuildings

Outbuildings provide storage and increase the liveability of each residence. It is important that these structures fit harmoniously within the architectural character and form of the dwelling and are not visible from the street.

### Objective:

To ensure that outbuildings are complementary to the dwellings and streetscapes.

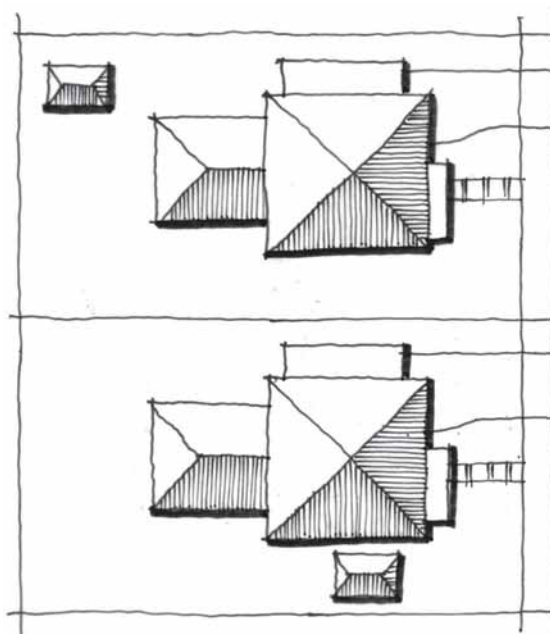
### Design Standards

**10.1** Outbuildings must be located to the rear of the property and must not be visible from the street.

**10.2** Outbuildings must not exceed 20m<sup>2</sup> in floor area and 3.6m in height.

**10.3** Outbuildings must not be constructed of materials other than brick, stone, rendered concrete, painted concrete sheet, timber or coloured non-reflective metal.

**10.4** The design, appearance and colours of any outbuildings must complement the main dwelling.





# 11

## Occupation

### Occupying your home

The occupation process has been established in order to expedite the transformation from construction site to neighbourhood. Owners have an obligation to ensure their home as a whole is completed promptly after the completion of the building works. To this end there are strict timeframes for the installation of window coverings, driveways, letterboxes and landscaping.

Similarly after completion of the home as a whole, it is the owner's responsibility and neighbourly obligation to ensure ongoing compliance with the design standards and maintenance of the property in keeping with the high standard of the neighbourhood.

The Occupation Checklist accompanying this booklet will assist in keeping track of your occupation obligations.

#### Occupation process

Once you have identified the date you intend to occupy your new home, complete and forward the Notice of Intention to Occupy accompanying this booklet to:

[drp@cedarwoods.com.au](mailto:drp@cedarwoods.com.au)

As required under your contract of sale, you must ensure this notice is received by Cedar Woods at least two weeks before the date you intend to occupy your home.

Additionally, you must provide Cedar Woods with a copy of your Occupancy Permit within one month of issue.

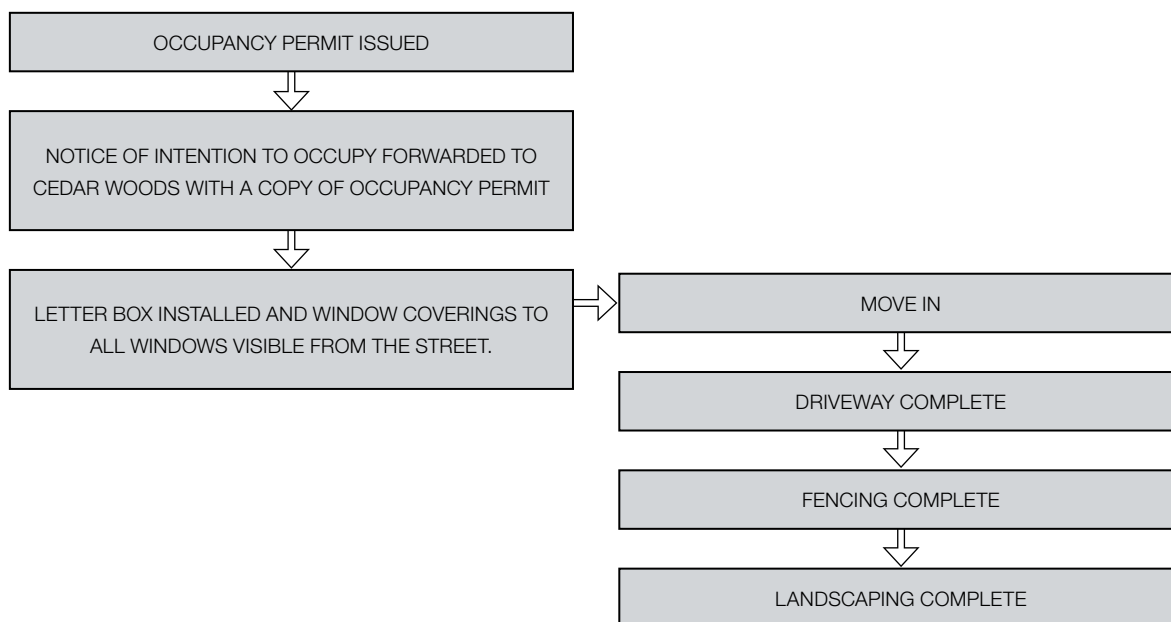
#### Occupation obligations

Owners must ensure the following works are completed within the allotted timeframes:

- Letterboxes must be installed prior to occupation. Temporary letterboxes are not permitted
- Window coverings to all windows visible from the street must be installed prior to occupation.
- Driveways must be installed within 30 days of the issue of the Occupancy Permit.
- Landscaping to the front garden must be completed within 6 months of the issue of the Occupancy Permit.



## Occupation process



### Disclaimers:

These Design Standards apply to Carlingford. Cedar Woods reserves the right to amend these Design Standards over time to reflect changes in development, construction practices and planning regulations.

Cedar Woods Design Review Panel reserves the right to apply, enforce, vary or waive any of the requirements if on balance the application embodies the objectives of the design principles and conforms to the contemporary Australian architectural vision.

In the event that the Cedar Woods Design Review Panel allows a dispensation from the Design Standards, the dispensation will neither set a precedent nor imply that the approval will be repeated.

The purpose of images and illustrations contained within this document is to illustrate the Design Standard they apply to only. In the case that an image or illustration does not fully comply with the Design Standards this will not over-ride the wording or intent contained within this document, and approval for same will not be granted.

Design Standards from Sections 7, 8 and 9 do not apply to any allotments in the display village.

These Design Standards are not applicable to integrated housing developments and rear loaded lots.

### Acknowledgements:

Photographic images of homes throughout provided by Henley Properties Group, Simonds Homes, Porter Davis Homes and Metricon Homes . Roof tile and concrete images provided by Boral. Landscaping images provided by MDG Landscaping.



## Appendix 1

### Example Exterior Colour Schemes

#### Palette 1

No.	Material/Description	Use	Colour	Type/Finish	Code	Supplier
1	Render/Paint Finish	Walls/Columns – general	White Swan		73861	Dulux
2	Render/Paint Finish	Walls/Columns – general	Berkshire White		73712	Dulux
3	Render/Paint Finish	Walls/Columns – general	Khaki		49C-2T	Wattyl
4	Render/Paint Finish	Walls/Columns – general	Plain Tree			Wattyl
5	Face Brick	Walls/Columns – general	Vanilla	Nuvo		Boral
6	Block Work	Walls/Columns – general	Alabaster	Split Face		Boral
7	Timber	Cladding/Screens	Grey Iron Bark			
8	Feature Special Finish	Walls/Columns – Feature	Fool's Gold	Industrial Lustre		Porter's Paints
9	Roof Tile	Roof	Antique Bronze	Terracotta Shingle		Boral
10	Powder Coat Colour	Frames	Mother of Pearl		84678	Dulux/Orica
11	Colorbond	Gutters & Trims	Jasper			Bluescope Steel

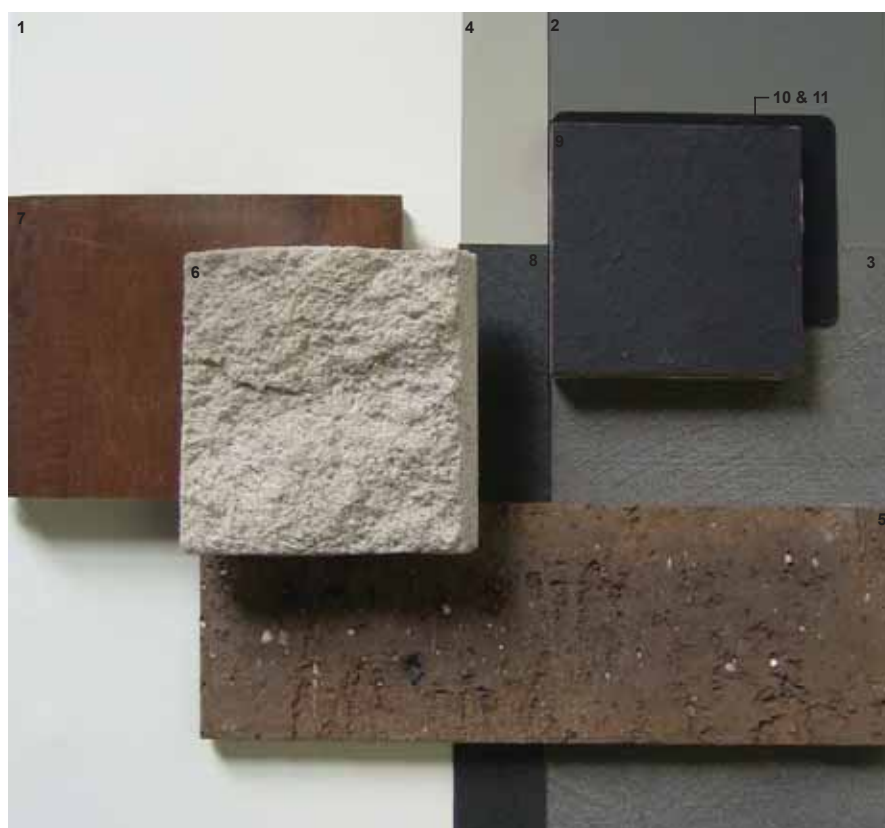






## Palette 2

No.	Material/Description	Use	Colour	Type/Finish	Code	Supplier
1	Render/Paint Finish	Walls/Columns – general	Whisper White		PCWF6	Dulux
2	Render/Paint Finish	Walls/Columns – general	Charcoal Light		P13A6	Dulux
3	Render/Paint Finish	Walls/Columns – general	Concrete Pot		WASWSGST018 (ID stone)	Wattyl
4	Render/Paint Finish	Walls/Columns – general	Oyster Linen		P16B3	Dulux
5	Face Brick	Walls/Columns – general	Labassa	Elan		Boral
6	Block Work	Walls/Columns – general	Alabaster	Split Face		Boral
7	Timber	Cladding/Screens	Grey Iron Bark			
8	Feature Special Finish	Walls/Columns – Feature	Quarry	Industrial Lustre		Porter's Paints
9	Roof Tile	Roof	Eclipse	Terracotta Shingle		Boral
10	Powder Coat Colour	Frames	Charcoal		88351	Dulux/Orica
11	Colorbond	Gutters & Trims	To match Dulux Charcoal 88351			Bluescope Steel





## Palette 3

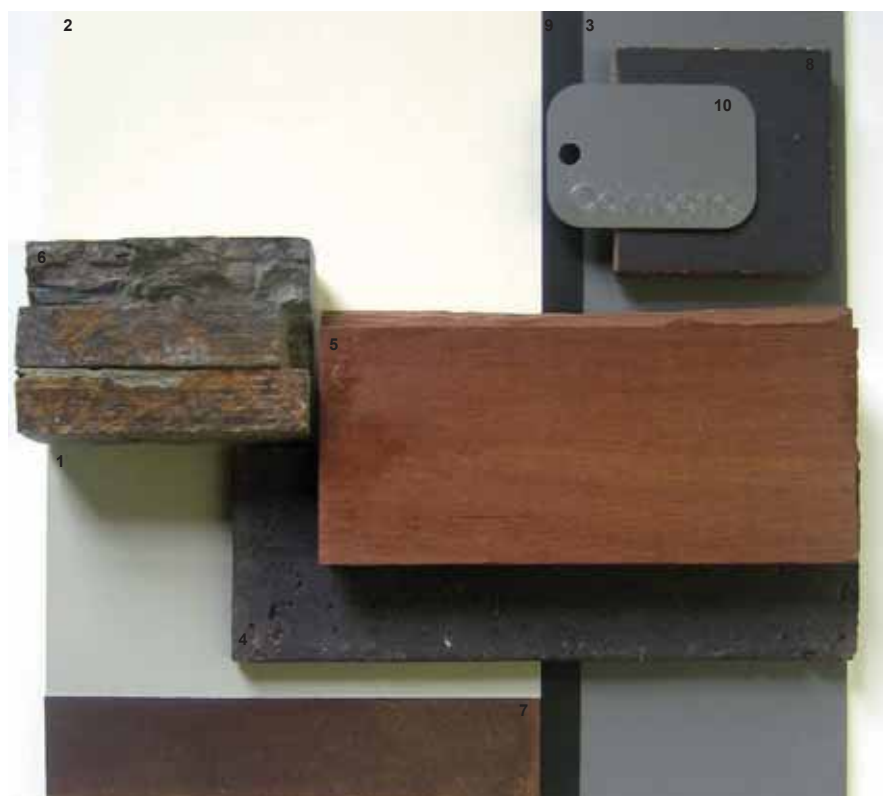
No.	Material/Description	Use	Colour	Type/Finish	Code	Supplier
1	Render/Paint Finish	Walls/Columns – general	Wet Cement			Murobond
2	Render/Paint Finish	Walls/Columns – general	Cumberland		13A-1A	Wattyl
3	Render/Paint Finish	Walls/Columns – general	Monolith			Wattyl
4	Render/Paint Finish	Walls/Columns – general	Fair Bianca		PW2D6 Half Strength	Dulux
5	Exterior Wall Tile	Walls/Columns – general	Charcoal	Metallic/ Glazed Ceramic	KGM030983B	Italpro/Dingley Ceramic Tile Centre
6	Timber	Cladding/Screens	Iron Bark			
7	Roof Tile	Roof	Charcoal Grey	Flat Concrete		Boral
8	Powder Coat Colour	Frames	To match Colorbond Citi			Dulux/Orica
9	Colorbond Colour	Gutters & Trims	Citi Metallic			Bluescope Steel





## Palette 4

No.	Material/Description	Use	Colour	Type/Finish	Code	Supplier
1	Render/Paint Finish	Walls/Columns – general	Worn Path		39C-2T	Wattyl
2	Render/Paint Finish	Walls/Columns – general	White Swan		73861	Dulux
3	Render/Paint Finish	Walls/Columns – general	Tea House		PG1F6	Dulux
4	Face Brick	Walls/Columns – general	Domino	Escura		Boral
5	Timber	Cladding/Screens	Forest Red			
6	Feature Stone Option	Walls/Columns – Feature	Grampians	Split Face Stack Stone		Eco Concepts
7	Feature Special Finish	Walls/Columns – Feature	White Iron & Instant Rust			Porter's Paints
8	Roof Tile	Roof	Eclipse	Terracotta Shingle		Boral
9	Powder Coat Colour	Frames	Black	Matt	19319	Dulux/Orica
10	Colorbond	Gutters & Trims	Facade Metallic			Bluescope Steel





## Appendix 2

### Landscaping Themes



## Introduction

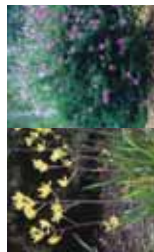
A key feature of the Carlingford community will be the quality of the landscaped parks, gardens and streetscapes. Appropriate front garden design and plant selection forms an important part of your overall neighbourhood character. This document provides a selection of front gardens designed to create a vibrant and integrated streetscape.

## Understanding the design options

This document contains 6 front garden landscape designs, each with a different style and planting palette. The gardens are designed to suit both standard lots and corner lot types, and can be adapted to suit your individual lot orientation and house plan.



The plans depict an indicative representation of each of the garden designs, together with an indicative 'elevation' view of how that garden might look at maturity on a typical house.



The list of plants gives the names and sizes of the range of plants for that garden design. However, because different plants have differing tolerance to sun or shade, the plant list identifies alternative species for shady conditions. Where two plant codes are shown for the same plant in the design, the first one shown is suitable for north and west facing gardens. The plant code shown in square brackets after the number is the required alternative plant for a south or east facing garden.



The trees shown in each of the designs can be selected from the list of three alternatives shown in the plant list. A small picture of each of the plants is shown on the design sheets also.

## Selecting your front garden

Before making your selection, the following are some questions to consider in deciding which garden is most suitable for you.

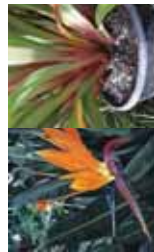
### Which garden will suit the design and character of your new house?

You may select a design from one of the following examples, or design your own garden to suit your style. It is important to consider which of these themes will be most complementary to the style of your house. You should also pay attention to the house plan and the location of windows, porch and driveway, in order to maximize views and access, whilst allowing for screening and privacy.



### Which garden will work with the layout and orientation of your site?

The gardens have been designed to suit different lot orientations - for example, the plants for north facing gardens are slightly different from south facing ones. The orientation of your site will therefore determine the species selection in your new garden. There is a choice of 3 trees for each garden design, from which you will be able to choose one. The garden will also vary depending on whether the lot is mid-block or corner. Paths and access requirements will be dependent on site layout and the design of your home. Note that some of the designs accommodate an 'alternative' path location (shown dotted) which may suit your home more.



### Which garden will fit your individual requirements?

Finally, choose a garden which will most suit your lifestyle. Consider the level of care and maintenance you would like to contribute to the garden. Also consider how you will use this space.

## Installation

Before you install your landscape, the following conditions should be met.

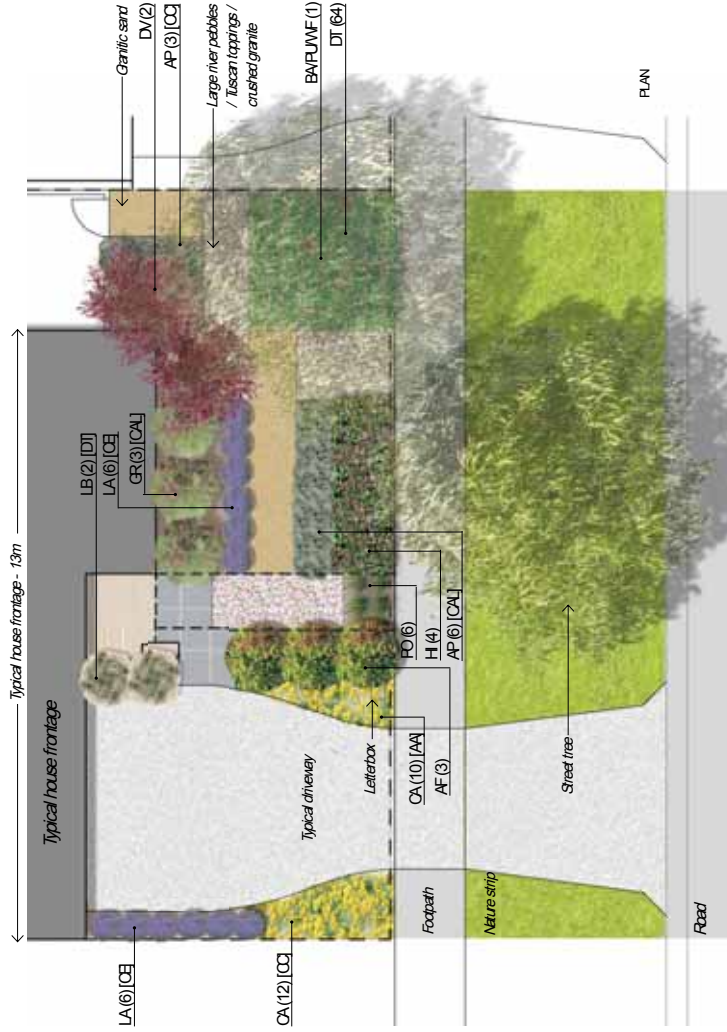
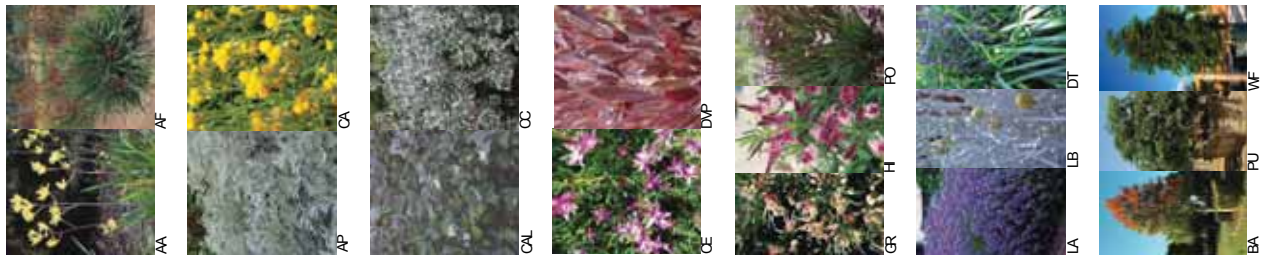
- the dwelling construction must be fully completed;
- all rubbish, rubble and vegetation must be removed and a level grade provided to the landscape areas, with a maximum level difference of 300mm;
- a 90mm PVC stormwater pipe should be installed beneath the driveway on the property, offset 1m from the title boundary.

The timing of installation of the works should consider the prevailing weather conditions. Generally, no landscape installation works should be carried out in the summer months.

## Maintenance

The home owner will be responsible for the care and maintenance of the garden from the time it is completed. Please be aware of any prevailing water restrictions in maintaining your garden. Contact Yarra Valley Water for the restrictions prevailing at any time.





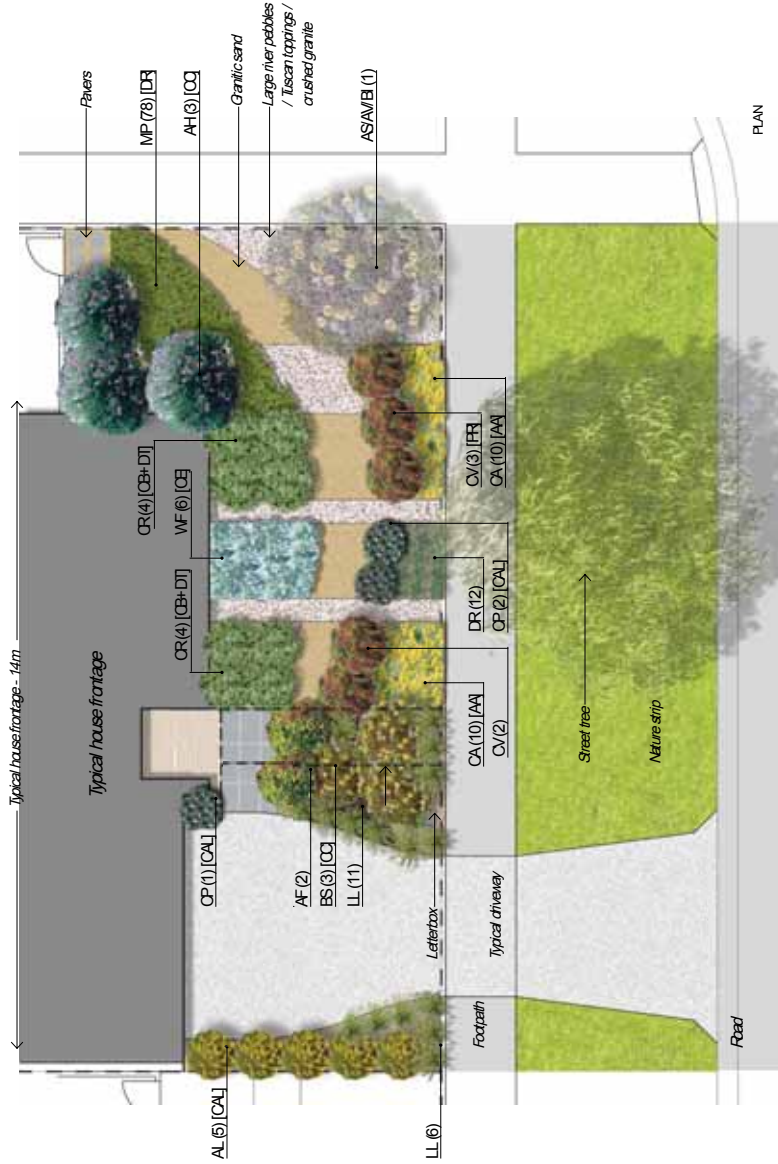
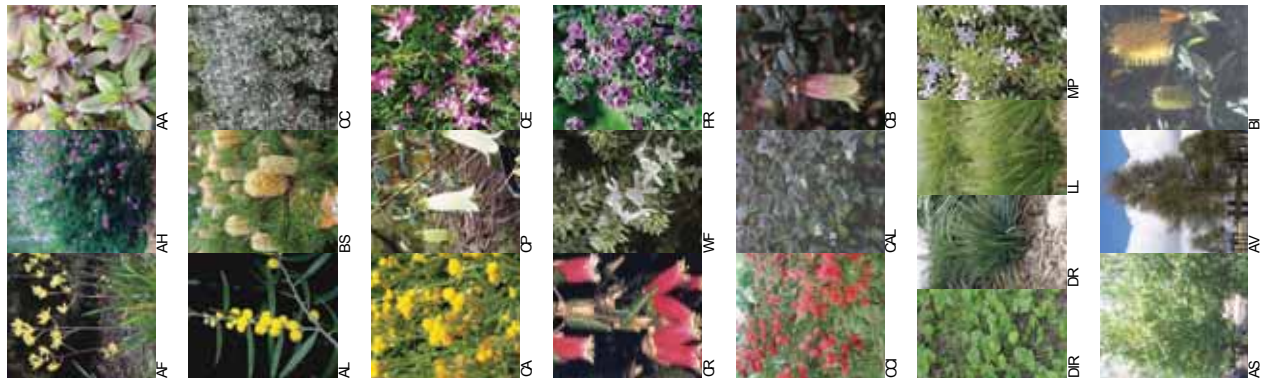
Key	Botanical Name	Common Name	Instal Size	Mature Size (HxW)
	Trees			
BA	Brachycton acerifolius	Illawarra Flame Tree		8-20m
PU	Pittosporum undulatum	Sheep Shear		12 x 7
WF	Waterhousea floribunda	Weeping Lilly Pilly		10m
	Shrubs			
AA	Alphacaulis	Australian Begle	150mpod	0.2x0.3
AF	Angozathos flavus	Tell Kergaco Paw	200mpod	1.0x2.0
AP	Artemisia 'Rovis Castle'	Wormwood	150mpod	0.6x0.8
CA	Chrysanthemum apiculatum	Common Everlasting	150mpod	0.15-0.8 x0.7
CAL	Coreo alba	White Correa	150mpod	1.5x1
CC	Convolvulus ornatum	Silver Bush	150mpod	0.3x0.5
CE	Oxoea pedata	Small Oxoea	150mpod	0.7 x 1
DVP	Dodonaea viscosa 'Purpurea'	Purple Hop Bush	200mpod	3 x 3
GR	Gevillea rosea var. 'Pink Pie'	Pink/White	200mpod	0.8-1 x 1-1.4
H	Hebe 'icing Sugar'	Veronica	150mpod	0.75 x 1
LA	Lavandula angustifolia	Lavender	150mpod	0.45 x 0.6
LB	Leucophya brownii	Cushion Bush	200mpod	0.2-1 x 0.5-1.5
	Tussocks and Groundcovers			
DT*	Danella tasmanica	Flax Lilly	150mpod	0.45 x 0.45
RO	Pterostemon occidentalis	Purple Rag	150mpod	0.3-0.5 x 0.3-0.5

**NOTE**

- \* Species in brackets to be used as substitutes for east and south facing lots



Carlingford

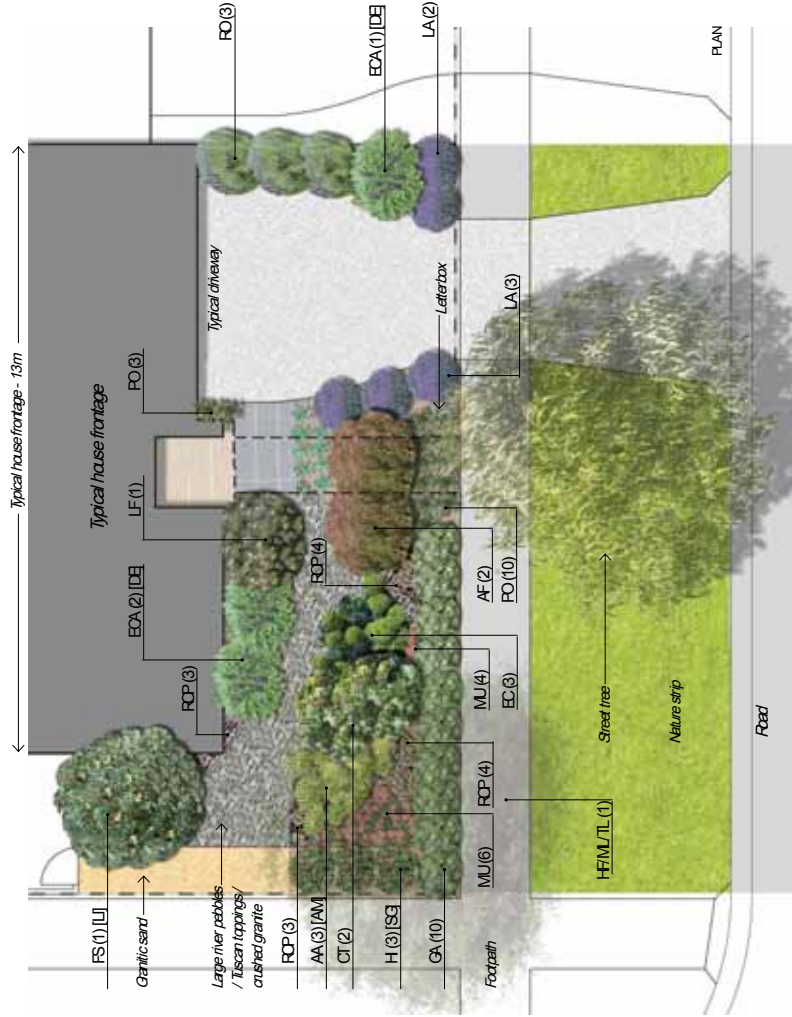


Key	Botanical Name	Common Name	Instal Size	Mature Size (HxW)
	Trees			
AS	Acmena smithii	Lily Pilly	15x	
AV	Allocasuarina verticillata	Drooping She Oak	3-12x	
BI	Banksia integrifolia	Coast Banksia	16L, 1.5m high	6-8 x 3-5
	Shrubs			
AA	Alphacaulis	Australian Buple	150mm pot	0.2 x 0.3
AF	Angonanthus flavifolius	Tall Kangaroo Paw	200mm pot	1.0 x 2.0
AH	Alcyone huegelii	Blue Hibiscus	200mm pot	2.5 x 2.5
AL	Acacia lanigera	Woolly Wattle	150mm pot	1 x 1
BS	Banksia speciosa	Heroin Banksia	150mm pot	0.5-1 x 1-1.5
CA	Chrysanthemum apiculatum	Birthday Candles Common Everlasting	150mm pot	0.15-0.8 x 0.7
CAL	Corea alba	White Corea	150mm pot	1.5 x 1
CB	Corea backhouseana	Yellow Corea	150mm pot	1.2 x 1
CC	Convolvulus oreum	Silver Bush	150mm pot	0.3 x 0.5
CC	Callistemon citrinus	Red bottlebrush	150mm pot	2-4 x 2.3
CE	Coorea esalata	Small Coorea	150mm pot	0.7 x 1
CP	Coorea pulchella 'White'	Beautiful Corea	200mm pot	0.3-1 x 0.8-1.5
CR	Coorea reflexa	Common Corea	200mm pot	0.5-1.5 x 1.2
CV	Callistemon viminalis	Captain Cook	200mm pot	1-2 x 1-1.5
FR	Prostanthera laurifolia	Round-leave Mint Bush	200mm pot	1.5 x 1.5
WF	Westringia fruticosa	Grey Leaf Aust. Rosemary	200mm pot	0.6-0.9 x 1.2-1.8
	Tussocks and Groundcovers			
DIR	Dichondra repens	Koney Creeper	150mm pot	
DR	Danalia revoluta	Little Rev Lily	150mm pot	0.3-0.4 x 0.3-0.5
LL	Lomandra longifolia	Tanket	150mm pot	0.5-0.7 x 0.8
MP	Myoporum parvifolium	Creeping Botchella	150mm pot	0.1-0.3 x 1.5-2

**NOTE**

• Species in brackets to be used as substitutes for east and south facing lots





Key	Botanical Name	Common Name	Instal Size	Mature Size (HxW)
	Trees			
HF	Hymenocarpus laurum	Native Frangipani	2m high	15 x 8
ML	Magnolia grandiflora	Bull Bay/Magnolia	2m high	8 x 5
TL	Tillandsia laurina	Kanoka	2m high	6 x 4
	Shrubs			
AA	Acaonium atrovireum	Tree Acaonium	200mm pot	1 x 1.5
AM	Aloe maculata	Snap Aloe	150mm pot	1 x 1
AF	Agnis flexuosa 'Nard Myrie'	Sweet Willow Myrie	200mm pot	1.5 x 1.5
CV	Callistemon viminalis 'Captain Cook'	Bottlebrush	200mm pot	1.2 x 1-1.5
CT	Chrysa terrata	Mexican Orange Blossum	200mm pot	1.8 x 1.8
DE	Dorothy's eximia	Gymea Lily	200mm pot	1 x 2
ECA	Echium candicans	Pride of Madiera	200mm pot	1.8 x 1.8
EC	Euphorbia characias 'Wulfenii'	Milkweed Spurge	150mm pot	1.2 x 1
FS	Felicia selowiana	Fireapple Guava	150mm pot	3 x 3
GA	Gardenia augusta 'Radicans'	Creeping Gardenia	150mm pot	0.3-0.6 x 1
H	Hbe 'long Sugar'	New Zealand Hbe	150mm pot	0.75 x 1
LI	Lagerströmia indica 'Zuni'	Dwarf Crepe Myrtle	200mm pot	3.5 x 3
LA	Lavandula angustifolia	English Lavender	150mm pot	0.9 x 1.2
LF	Lonicera fragrantissima	Winter Flowering Honeysuckle	200mm pot	1.2-1.8 x
MU	Melaleuca hypericifolia 'Uladia Beacon'	Prostrate Red Honey Myrtle	150mm pot	0.3-0.6 x 1-2
RO	Remainus officinalis	Rosemary	150mm pot	1.5 x 1.5
RCP	Remainus officinalis prostrate	Prostrate Rosemary	150mm pot	
SG	Salvia greggii	Autumn Sage	150mm pot	1.2 x 0.6
	Tussocks and Groundcovers			
DC	Dianella caerulea 'Cassa Blue'	Blue Flax Lily	150mm pot	0.4 x 0.4
DB	Dielys bioclor	Spanish Iris	150mm pot	0.8 x 0.6
PO	Palafoxia occidentalis	Purple Flag	150mm pot	0.5 x 0.5

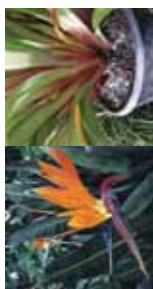
**NOTE**

• Species in brackets to be used as substitutes for east and south facing lots



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SR



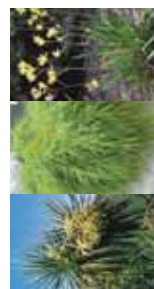
DS



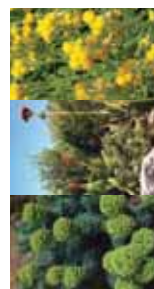
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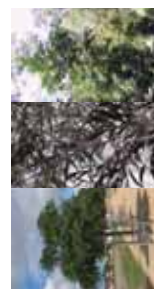
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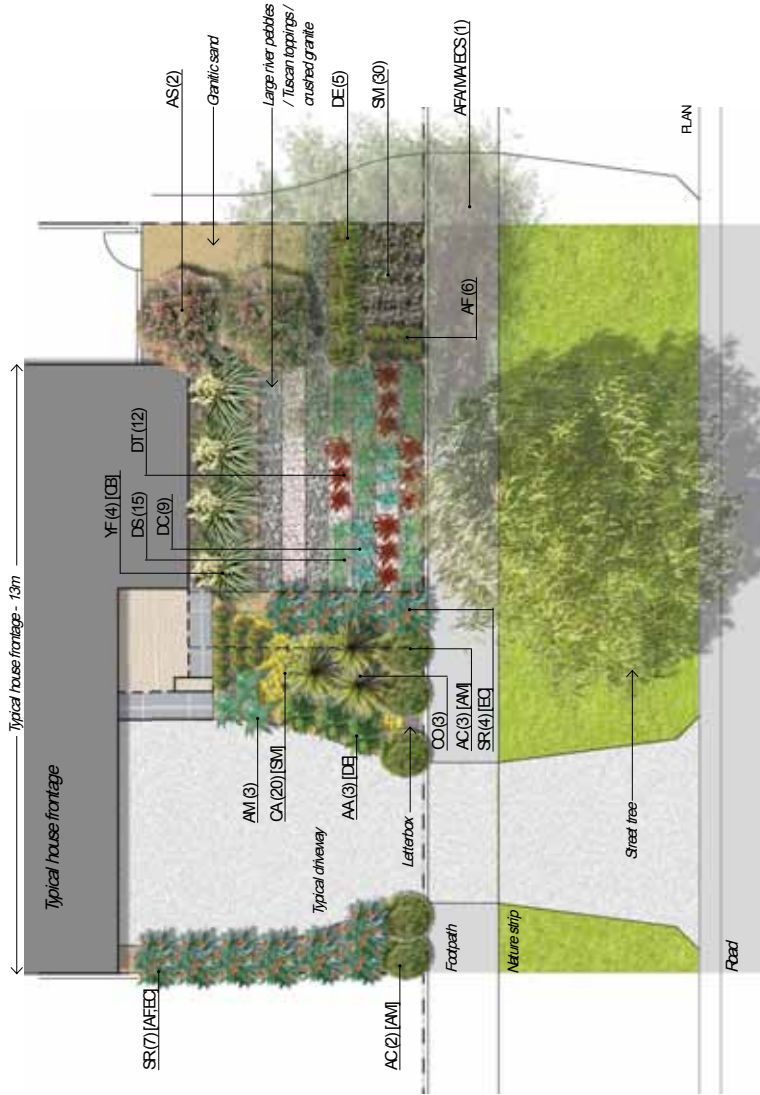
CO



EC



MA



ELEVATION

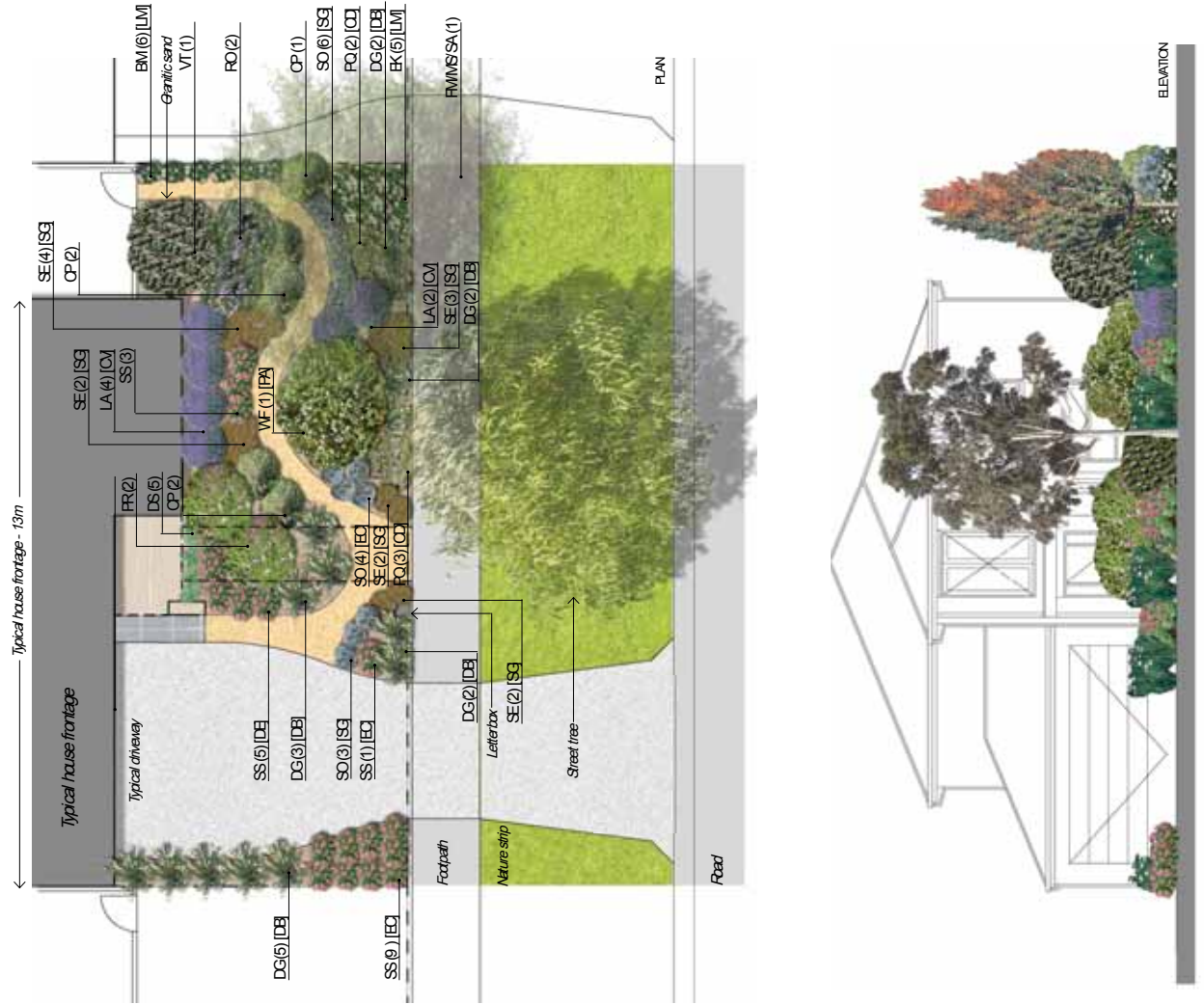
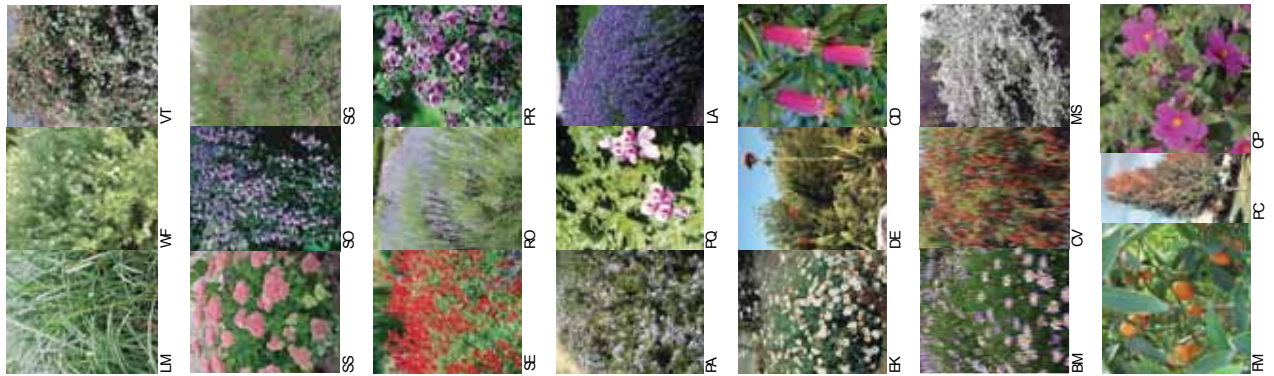
Key	Botanical Name	Common Name	Install Size	Mature Size (HxW)
Trees				
AFA	Agonis flexuosa 'After Dark'	Willow Myrtle	2m high	10 x 5
MA	Melia azadirach	White Cedar	2m high	5-8 x 3-5
ECS	Elaeagnus reticulatus	Bluberry Ash	2m high	10 x 5
Shrubs				
AC	Acacia cognata 'Limelight'	Acacia Limelight	150mm pot	0.5 x 1
AS	Acroera smithii var minor 'Ht Rush'	Dwarf Lilly Lilly	200mm pot	3 x 2
AA	Agave attenuata	Century Plant	150mm pot	1 x 0.8
AM	Aloe maculata	Scap Aloe	150mm pot	1 x 1
AF	Argemone flavidus	Tall Kergaroo Paw	150mm pot	1.0 x 2.0
CA	Chrysanthemum apiculatum	Common Everesting	150mm pot	0.15-0.6 x 0.7
CO	Crocyline australis	Cabbage Tree	200mm pot	3 x 2
CB	Cornea backhausiana	Yellow Cornea	200mm pot	1.2 x
DE	Dryanthes excelsa	Gymea Lily	200mm pot	1 x 2
ED	Euphorbia characias 'Wulfenii'	Milkweed Spurge	200mm pot	1.2 x 1
SM	Scabdia 'Maue Clusters'	Fan Flower	150mm pot	0.2 x 1.5
SR	Strelitzia reginae	Bird of Paradise	200mm pot	1.8 x 1
YF	Yucca filamentosa	Adams Needle	200mm pot	0.9 x 1.5
Tussocks and Groundcovers				
DC	Danella Cassia Blue	Flax Lilly	150mm pot	0.45 x 0.45
DS	Danella Silver Streak	Flax Lilly	150mm pot	0.5 x 0.4
DT	Danella 'Tasred'	Flax Lilly	150mm pot	0.45 x 0.45

**NOTE**

• Species in brackets to be used as substitutes for east and south facing lots



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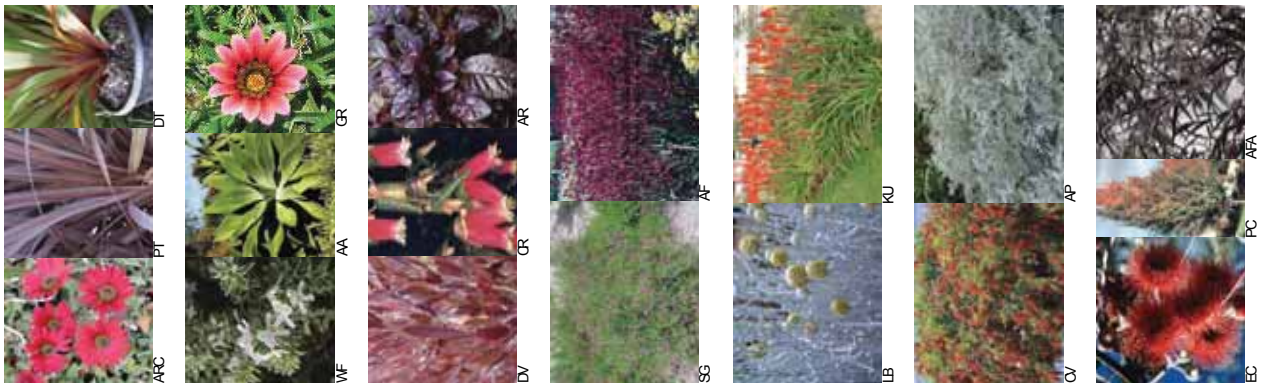
Key	Botanical Name	Common Name	Install Size	Mature Size (Hx W)
<b>Trees</b>				
FM	Fontanella marginata	Cumquat	2m high	3 x 4
MS	Malus sargentii	Sargent's Crabapple	2m high	4-6 x 4
SA	Sparganium angustifolium	Brush Cherry	2m high	7-10 x 5
<b>Shrubs</b>				
BM	Baccharis multifida	Cut Leaf Daisy	150mm pot	0.2 x 0.3
CA	Callistemon viminalis	Weping Bottle Brush	200mm pot	1.2 x 1-1.5
CP	Cistus x purpureus	Billycart/Rose	200mm pot	1 x 1
CD	Correa 'Dusky Bells'	Dusky Bells	150mm pot	0.6 x 1
DE	Dryanthes aedosa	Gynaea Lily	200mm pot	1 x 2
EO	Euphorbia characias 'Wulfenii'	Milkweed Spurge	150mm pot	1.2 x 1
BK	Eligium karvinskianus	Sassile Daisy	150mm pot	0.5 x 1
LA	Lavandula angustifolia	English Lavender	200mm pot	0.45 x 0.6
RQ	Rhegnetum quercifolium	Ok-Leaf Geranium	150mm pot	0.9 x 0.6
FA	Fumago auriculata	Pumtogo	200mm pot	2 x 1.5
FR	Prostanthera rotundifolia	Round-Leaved Mint Bush	200mm pot	1.5 x 1.5
RO	Rosemarinus officinalis	Rosemary	150mm pot	1.5 x 1.5
SE	Salvia elegans	Pineapple Sage	150mm pot	0.7 x 0.5
SG	Salvia greggii	Alum Sage	150mm pot	1.2 x 0.6
SO	Salvia officinalis	Common Sage	150mm pot	0.7 x 0.5
SS	Sedum spectabile	Ice Plant	150mm pot	0.7 x 0.6
VT	Viburnum tinifolium	Larus tinus	200mm pot	3 x 2
WF	Westringia fruticosa	Coastal Rosemary	200mm pot	1.5 x 4
<b>Tussocks and Groundcovers</b>				
DS	Dianella silver streak	Flex Lily	150mm pot	0.5 x 0.4
DB	Dietes bicolor	Spanish Iris	150mm pot	0.8 x 0.6
DG	Dietes grandiflora	Wild Iris	150mm pot	1 x 1
LM	Liriope muscari	Evergreen Gert	150mm pot	0.3 x 0.45

**NOTE**

• Species in brackets to be used as substitutes for east and south facing lots



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Key	Botanical Name	Common Name	Install Size	Mature Size (HxW)
<b>Trees</b>				
EC	Eucalyptus coccinea 'Silver Princess'	Gungah	2m high	3.8 x 3.5
PC	Pyrus calleryana 'Capital'	Callery Pear	2m high	11 x 4
SS	Sterocarpus sinuatus	Firewheel Tree	2m high	14 x 8
<b>Shrubs</b>				
ASM	Azorella smithii var minor 'Ht. Flash'	Dwarf Lilly Pilly	200mm pot	3 x 2
AR	Argemone 'Atropurpurea'	Purple Argemone	150mm pot	0.2 x 0.3v
AA	Agave attenuata	Century Plant	150mm pot	1 x 0.8
AF	Agrostis flexuosa 'Nana'	Sweet Willow Myrtle	200mm pot	1.5 x 1.5
AM	Aloe maculata	Snap Aloe	150mm pot	1 x 1
AS	Angioctenanthus 'Sunset'	Tall Kangaroo Paw	200mm pot	1.0 x 2.0
ARC	Arctostaphylos 'Red Magic'	African Daisy	150mm pot	0.3 x 0.3
AP	Atrensia Polaris Castile	Wormwood	150mm pot	0.6 x 0.8
OV	Callistemon viminalis 'Captain Cook'	Weeping Bottlebrush	200mm pot	1.2 x 1.1.5
CR	Cornea reflexa	Common Correa	150mm pot	0.5-1.5 x 1.2
DV	Dobsonia viscosa 'Purple'	Purple Hop Bush	200mm pot	3 x 3
GR	Gazania 'Fiesta Red'	Gazania	150mm pot	0.2 x 0.25
KU	Kypholobos	Red Hot Poker	150mm pot	1 x 0.5
LB	Leucophya brownii	Cushion Bush	200mm pot	0.2-1 x 0.5-1.5
SG	Salvia greggii	Autumn Sage	150mm pot	1.2 x 0.6
WF	Westringia frutescens 'Smiley'	Coastal Rosemary	200mm pot	0.6-0.9 x 1.2-1.8
<b>Tussocks and Groundcovers</b>				
DI	Dianella 'Tered'	Flax Lily	150mm pot	0.45 x 0.45
PT	Promium terax 'Purple'	Purple New Zealand Flax	150mm pot	1.5 x 1

**NOTE**

• Species in brackets to be used as substitutes for east and south facing / d/s



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## Appendix 3

### Notice of Intention to Occupy

**Details**

Lot number ..... Street number .....

Street .....

Owner/s Names .....

Contact phone number .....

Date you intend to occupy your home ...../...../.....

Date certificate of occupancy issued ...../...../.....

Copy of certificate of occupancy attached

I/We undertake to abide by the occupation obligations listed on page 31.

Signed by Owners ..... Date .....



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